

PRELIMINARY/FINAL SITE PLAN

LAKEVIEW SHOPPING PLAZA

RETAINING WALL REPLACEMENT

1505-1515 ROUTE 22
 BREWSTER, NY
 AUGUST 2017

H2M PROJECT NO. CUWA 17-01



PROJECT CONTACTS	
OWNER	CSFB2007-C4 LAKEVIEW PLAZA SHOPPING CENTER, LLC C/O TORCHLIGHT LOAN SERVICES, LLC 230 PARK AVENUE NEW YORK, NY 10169
APPLICANT	CUSHMAN & WAKEFIELD, INC. A/A/F/ CSFB2007-C4 LAKEVIEW PLAZA SHOPPING CENTER, LLC PROPERTY MANAGER 107 ELM STREET, 8TH FLOOR STAMFORD, CT 06902
ENGINEER	H2M ARCHITECTS + ENGINEERS 2 EXECUTIVE BOULEVARD, SUITE 401 SUFFERN, NY 10901 TELEPHONE: (845) 357-7238
OWNER CONSTRUCTION AGENT	NEWBANKS 980 BROADWAY, SUITE 501 THORNWOOD, NY 10594 TELEPHONE: (917) 470-9650

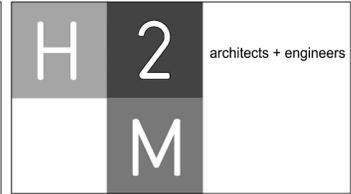
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500 FOOT PROPERTY OWNER'S LIST			
TAX MAP 46:			
BLOCK 1			
PARCEL	LOCATION	OWNER	OWNER ADDRESS
2	1535 RT 22	LAKEVIEW ASSOC. LLC	1944 RT 22, BREWSTER, NY 10509
3	1545-1547 RT 22	WON REALTY, LLC	37 TARRYTOWN RD, WHITE PLAINS, NY 10607
4	1553 RT 22	WON REALTY, LLC	37 TARRYTOWN RD, WHITE PLAINS, NY 10607
5	1565 RT 22	JIMZO GARDENS APT., LLC	509 SCARSDALE RD, YONKERS, NY 10707
6	1559 RT 22	DC3 HOLDINGS, LLC	21 GLEN DR, NEW CANANN, CT 06810
7	31 OVERLOOK LN	D. ALBERTO & J. MANDRA	31 OVERLOOK LN, BREWSTER, NY 10509
8	47 OVERLOOK LN	HEATHER SLOAN	47 OVERLOOK LN, BREWSTER, NY 10509
9	42 OVERLOOK LN	DAVID & SUSAN LIND	42 OVERLOOK LN, BREWSTER, NY 10509
BLOCK 2			
PARCEL	LOCATION	OWNER	OWNER ADDRESS
44	1560 RT 22	BREWSTER REALTY & DEV. CO	670 WHITE PLAINS RD, STE 120, SCARSDALE, NY 10583
45.1	1534 RT 22	RT 22 HOLDING LLC	5600A BROADWAY, BRONX, NY 10463
45.2	1550 RT 22	RT 22 HOLDING LLC	5600A BROADWAY, BRONX, NY 10463
TAX MAP 57:			
BLOCK 1			
PARCEL	LOCATION	OWNER	OWNER ADDRESS
2	21 BREWSTER HILL RD	CITY OF NEW YORK DEP	71 SMITH AVE, KINGSTON, NY 12401
8	1481-1485 RT 22	DALO PETROLEUM INC	50A MAIN ST, STE 300, SPRING VALLEY, NY 10977
9	1487-1491 RT 22	EURO FENCE LLC	1475 ROUTE 22, BREWSTER, NY 10509
12	121 CLOCK TOWER COMMONS DR	CLOCK TOWER COMMONS	
13	1470 RT 22	SOUTHEAST LAND LLC	P.O. BOX 110422, STAMFORD, CT 06911
TAX MAP 57.007:			
1-50	BREWSTER WOODS DR	BREWSTER WOODS CONDOMINIUMS	

ZONING INFORMATION	
ADDRESS:	1505-1515 Route 22 Brewster, NY
SECTION:	46
BLOCK:	1
PARCEL:	1
ZONING CODE:	SR 22 - SPECIAL ROUTE 22 DISTRICT

REVISED: 02/21/2018 - AMENDED SITE PLAN APPLICATION
 REVISED: 09/15/2017 - RELEASED TO CONTRACTORS

SHEET TITLE
COVER SHEET



2 Executive Boulevard
 Suite 401
 Suffern, NY 10901
 P:(845)357-7238
 F:(845)357-7267

Melville, NY 11747
 New York, NY 10001
 Westchester, NY 10577
 Suffern, NY 10901
 Parsippany, NJ 07054
 Howell, NJ 07731
 Albany, NY 12186
 Riverhead, NY 11701

PROJECT #:	CUWA 17-01
DATE:	08/03/2017
DESIGNED BY:	DGL
DRAWN BY:	TM
CHECKED BY:	
REVIEWED BY:	

**CUSHMAN & WAKEFIELD,
 INC. A/A/F/
 CSFB 2007-C4 LAKEVIEW
 PLAZA SHOPPING
 CENTER, LLC**

**TOWN OF SOUTHEAST,
 PUTNAM COUNTY**

SHEET #
G0.0

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CUSHMAN & WAKEFIELD, INC. A/A/F/
CSFB 2007-C4 LAKEVIEW PLAZA SHOPPING CENTER, LLC

PUTNAM COUNTY NEW YORK

LAKEVIEW SHOPPING PLAZA RETAINING WALL REPLACEMENT

PLANNING REVIEW NOT FOR CONSTRUCTION

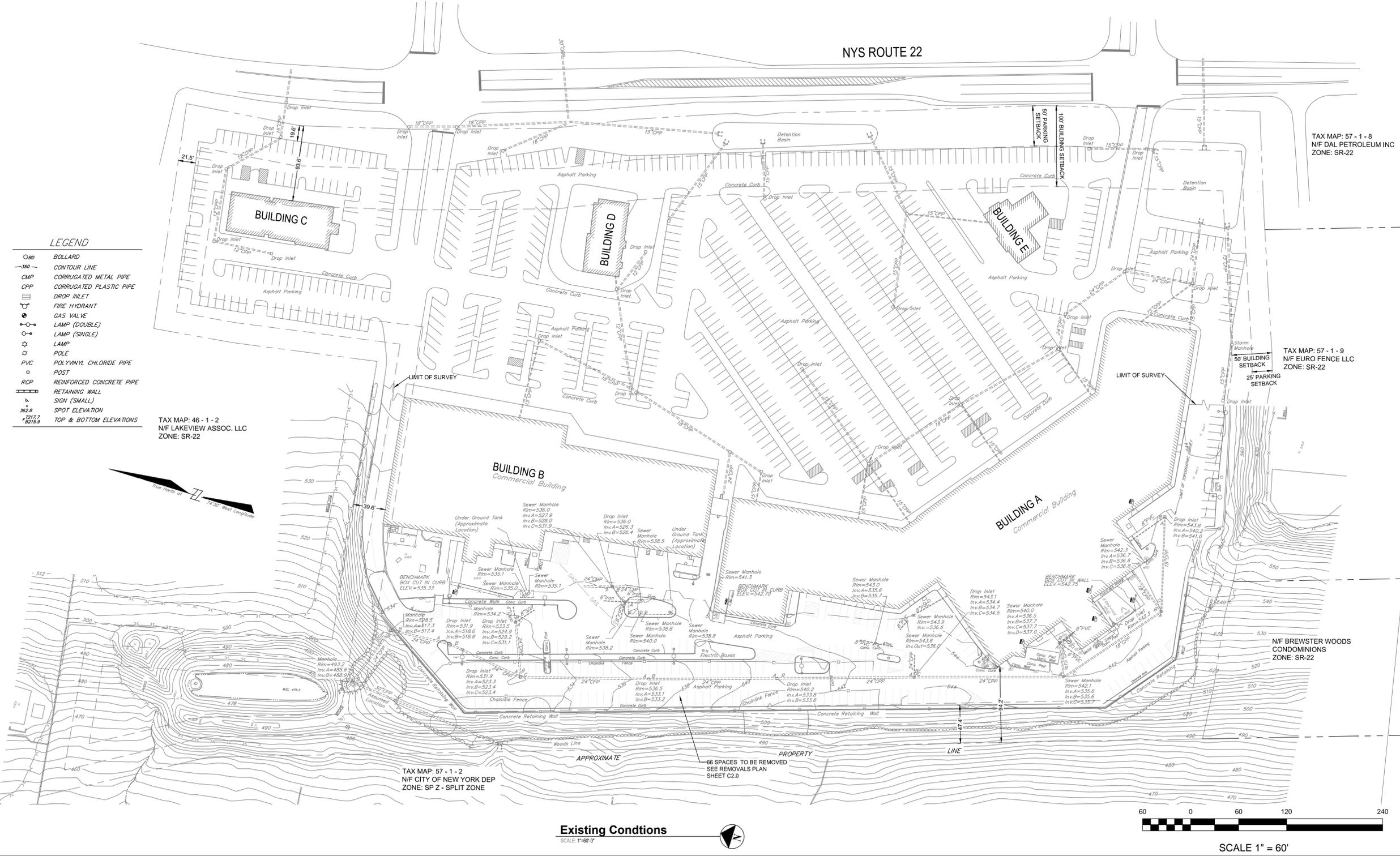
EXISTING CONDITIONS

C1.0

PARKING CALCULATION				
REQUIREMENTS TAKEN FROM APPROVED SITE PLAN				
EXISTING BUILDING	USE	FLOOR AREA (SF)	REQUIRED PARKING	SPACES REQUIRED
A	SUPERMARKET RETAIL BANK	54,698 41,500 2,000	1SP/200SF 1SP/200SF 1SP/200SF	273.5 207.5 10
B	RETAIL/PERSONAL SERVICES	49,400	1SP/200SF	247
C	BANK OFFICE	1ST FL 6,200 2ND FL 4,500	1SP/200SF 1SP/250SF	31 18
D	BURGER KING	1,247 PATRON USE AREA	1SP/50SF	26
E	BANK	4,000	1SP/200SF	20
TOTAL REQUIRED				833
EXISTING PARKING				908

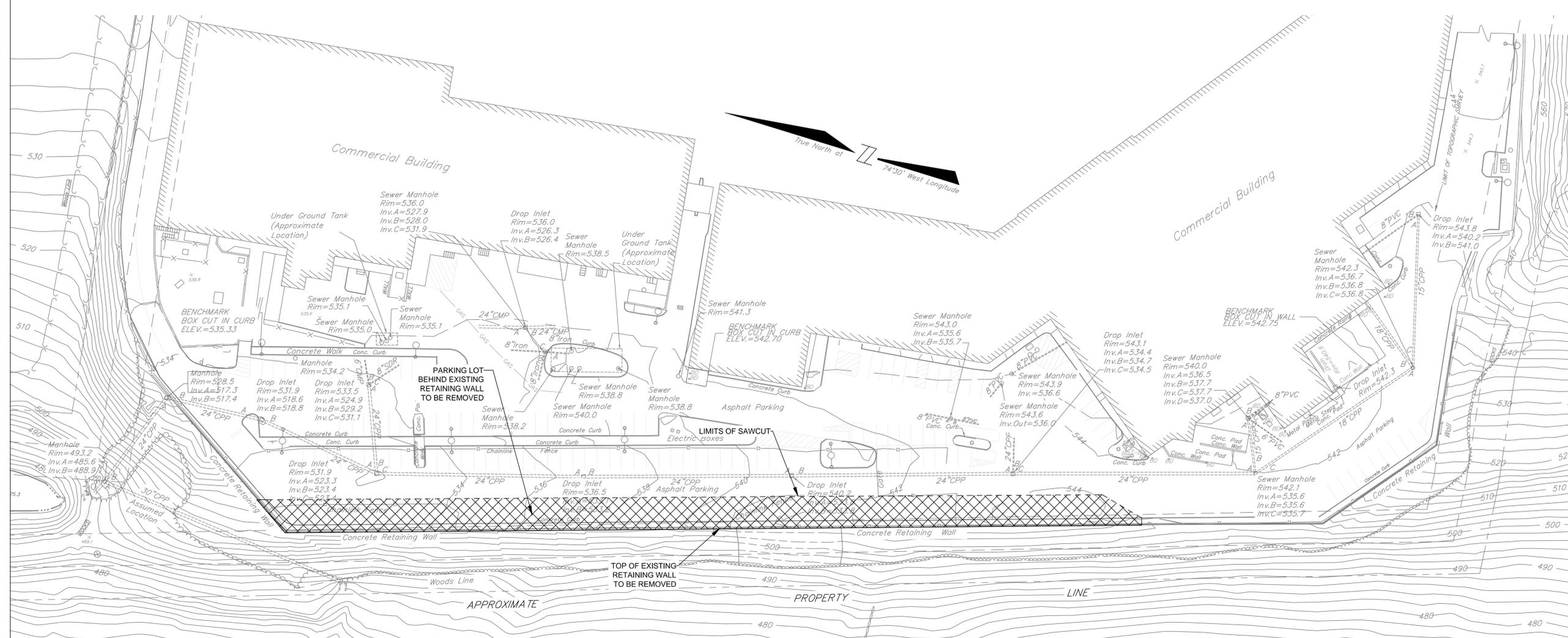
PARKING CALCULATION				
CURRENT REQUIREMENTS				
EXISTING BUILDING	USE	GROSS FLOOR AREA (SF)	REQUIRED PARKING	SPACES REQUIRED
A	SUPERMARKET/ RETAIL BANK	102,550 2,250	1SP/250SF 1SP/333SF	410.2 6.8
B	RETAIL/PERSONAL SERVICES	54,900	1SP/250SF	219
C	BANK OFFICE	1ST FL 6,600 2ND FL 4,900	1SP/333SF 1SP/250SF	19.8 19.6
D	BURGER KING	1,247 PATRON USE AREA	1SP/50SF	26
E	BANK	4,000	1SP/333SF	12
TOTAL REQUIRED				714
PROPOSED PARKING				842

- GENERAL NOTES:**
- ALL WORK SHALL BE IN ACCORDANCE WITH THE PROVISIONS OF THE NEW YORK STATE DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS, LATEST ISSUE.
 - DETAILED TOPOGRAPHY AND PHYSICAL FEATURES WITHIN LIMIT OF TOPOGRAPHIC SURVEY BASED ON ACTUAL FIELD SURVEY BY BADEY & WATSON, SURVEYING & ENGINEERING, P.C. (PROJECT No. 23563) PERFORMED JUNE 1, 2017. WETLAND LOCATIONS, FLOOD LIMITS AND UNDERGROUND UTILITY LOCATIONS WERE NOT REVIEWED OR CONSIDERED. ELEVATIONS REFERENCED TO NORTH AMERICAN VERTICAL DATUM OF 1988.
 - LAYOUT AND PHYSICAL FEATURES OUTSIDE THE LIMITS OF THE SURVEY TAKEN FROM CREATIVE KIDS CHILDCARE CENTER PLANS LAST AMENDED MARCH 27, 2000 FOR LAKEVIEW ASSOCIATES PREPARED BY LANDSCAPE ARCHITECTURAL DESIGN ASSOCIATES, P.C.
 - THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE ENGINEER.
 - CONTRACTOR SHALL MAINTAIN PROPERTY ACCESS AND/OR MAKE ARRANGEMENTS FOR LIMITED ACCESS INTERRUPTION THROUGHOUT CONSTRUCTION. WHERE DIRECT ACCESS TO DRIVEWAYS IS NOT POSSIBLE DUE TO NECESSARY CONSTRUCTION, CONTRACTOR SHALL ARRANGE ALTERNATE MEANS OF ACCESS AND NOTIFY PROPERTY OWNERS AT LEAST 72 HOURS BEFORE ANY ACCESS RESTRICTIONS ARE IN PLACE.
 - ALL EXISTING PUBLIC AND PRIVATE PROPERTY DAMAGED OR DISTURBED AS A RESULT OF THE CONTRACTOR'S OPERATIONS AND NOT REPLACED BY NEW WORK UNDER THE CONTRACT SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THEIR ORIGINAL CONDITION.
 - WHEN IT IS NECESSARY TO REMOVE PERSONAL PROPERTY LOCATED ON PUBLIC RIGHTS-OF-WAY OR WITHIN EASEMENT AREAS SUCH AS LAMPPOSTS, MAILBOXES, FENCES, RETAINING WALLS, ETC., THESE SHALL BE REMOVED WITHOUT DAMAGE, WHERE POSSIBLE, AND STORED UNTIL THE WORK HAS BEEN COMPLETED. AS SOON AS PRACTICABLE AFTER THE COMPLETION OF THE WORK, THE PROPERTY SHALL BE REPLACED IN ITS ORIGINAL LOCATION AND RESTORED TO A CONDITION EQUAL TO THAT WHICH EXISTED PRIOR TO CONSTRUCTION. IN INSTANCES WHERE MATERIALS CANNOT BE SALVAGED AFTER REMOVAL, THEY SHALL BE REPLACED WITH NEW MATERIALS OF EQUAL QUALITY BY THE CONTRACTOR AT NO COST TO THE OWNER.
 - THE CONTRACTOR SHALL RESTORE OR REPLACE ALL TRAFFIC AND PEDESTRIAN SIGNAGE REMOVED OR DAMAGED IN CONNECTION WITH THE WORK. GENERALLY, ALL SIGNS SHALL BE RETURNED TO THEIR ORIGINAL POSITION AND ORIENTATION IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES. ANY DEVIATION DUE TO NEW SITE CONDITIONS REQUIRES THE WRITTEN APPROVAL OF THE ENGINEER.
 - ANY EXISTING FRAMES, COVERS AND GRATES NOT INCORPORATED INTO THE WORK SHALL BE RETURNED TO THE OWNER.



LEGEND

○	BOLLARD
—350—	CONTOUR LINE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
⊞	DROP INLET
⊞	FIRE HYDRANT
⊞	GAS VALVE
⊞	LAMP (DOUBLE)
⊞	LAMP (SINGLE)
⊞	LAMP
⊞	POLE
PVC	POLYVINYL CHLORIDE PIPE
○	POST
RCP	REINFORCED CONCRETE PIPE
▬	RETAINING WALL
▲	SIGN (SMALL)
362.8	SPOT ELEVATION
+1217.7 -8215.9	TOP & BOTTOM ELEVATIONS



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CUSHMAN & WAKEFIELD, INC. A/A/F/
CSFB 2007-C4 LAKEVIEW PLAZA SHOPPING CENTER, LLC
PUTNAM COUNTY NEW YORK

CONTRACT
LAKEVIEW SHOPPING PLAZA RETAINING WALL REPLACEMENT

STATUS
PLANNING REVIEW NOT FOR CONSTRUCTION

SHEET TITLE
REMOVALS PLAN

SHEET #
C2.0

Removals Plan
 SCALE: 1"=40'-0"



SCALE 1" = 40'

SNOW REMOVAL PLAN	
APPROXIMATE SNOW FALL	PROCEDURE
< 3 INCHES	FLOW AISLES AND STALLS CLEAR WITH SNOW TO EDGE OF LOT
< 3 TO 6 INCHES	STOCKPILE SNOW IN LOCATIONS A, B & C AS SHOWN
> 6 INCHES	TEMPORARILY STOCKPILE SNOW IN LOCATIONS A, B & C. EXCESS SNOW TO BE TRUCKED TO STOCKPILE LOCATIONS AT FRONT OF PROPERTY BY PYLON (LOCATION NOT SHOWN)

PARKING CALCULATION				
CURRENT REQUIREMENTS				
EXISTING BUILDING	USE	GROSS FLOOR AREA (SF)	REQUIRED PARKING	SPACES REQUIRED
A	SUPERMARKET/ RETAIL BANK	102,550	1SP/250SF 1SP/333SF	410.2 6.8
B	RETAIL/PERSONAL SERVICES	54,900	1SP/250SF	219
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D	BURGER KING	1,247 PATRON USE AREA	1SP/50SF	26
E	BANK	4,000	1SP/333SF	12
TOTAL REQUIRED				714
EXISTING (APPROVED SITE PLAN)				872
EXISTING (AS-BUILT)				908
PROPOSED				842

LEGEND

- BOLLARD
- - - CONTOUR LINE
- CMP CORRUGATED METAL PIPE
- CPP CORRUGATED PLASTIC PIPE
- ≡ DROP INLET
- ⊕ FIRE HYDRANT
- ⊙ GAS VALVE
- ⊕ LAMP (DOUBLE)
- ⊕ LAMP (SINGLE)
- ⊕ LAMP
- POLE
- PVC POLYVINYL CHLORIDE PIPE
- POST
- RCP REINFORCED CONCRETE PIPE
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- ANY EXISTING FRAMES, COVERS AND GRATES NOT INCORPORATED INTO THE WORK SHALL BE RETURNED TO THE OWNER.
- ROUTINE STORAGE OF MATERIALS SHALL BE CONFINED TO CONSTRUCTION ZONE AS DEFINED BY TEMPORARY FENCING ON SITE PLAN. OTHER THAN REQUIRED ACTIVE WALL CONSTRUCTION ON NORTHERN AND SOUTHERN PORTIONS OF WALL, ALL OPERATIONS SHALL BE WITHIN FENCED AREA OR ALONG BASE OF WALL. FOR CONSTRUCTION ON NORTHERN AND SOUTHERN PORTIONS OF WALL, CONTRACTOR SHALL MAINTAIN A TRAVEL LANE IF POSSIBLE. WHEN FULL CLOSURE OF NORTHERLY OR SOUTHERLY TRAVEL LANES IS REQUIRED, MANAGEMENT SHALL BE GIVEN 48 HOUR ADVANCE NOTICE AND CONTRACTOR SHALL ERECT ROAD CLOSURE SIGNS. SOUTHERN AND NORTHERN DRIVEWAY WALL SECTIONS SHALL NOT BE IN SIMULTANEOUS ACTIVE CONSTRUCTION.



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DGL

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CLIENT
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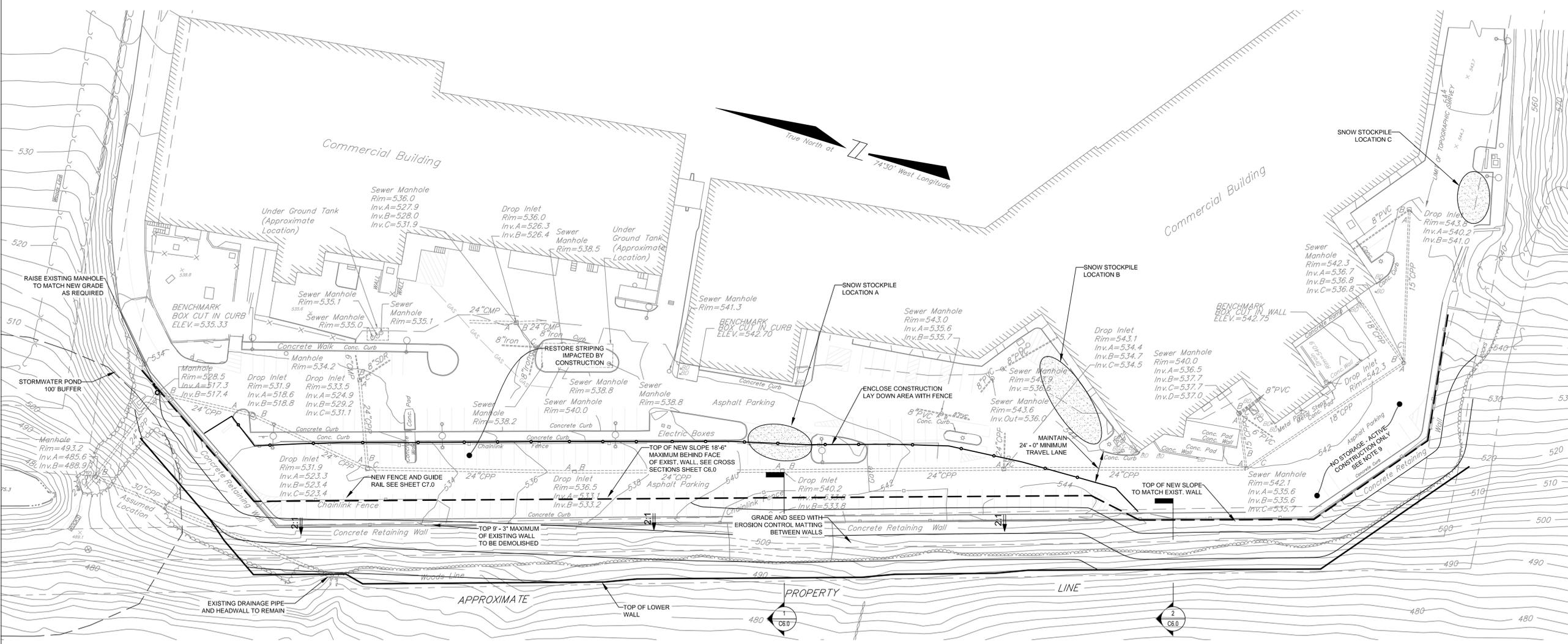
PUTNAM COUNTY NEW YORK

CONTRACT
LAKEVIEW SHOPPING PLAZA RETAINING WALL REPLACEMENT

STATUS
PLANNING REVIEW NOT FOR CONSTRUCTION

SHEET TITLE
SITE PLAN

SHEET #
C3.0



New York 811
www.newyork-811.com

- Call Before You Dig
- Wait The Required Time
- Confirm Utility Response
- Respect The Marks
- Dig With Care

1-800-272-4480 or 811

Site Plan
SCALE: 1"=40'



SCALE 1" = 40'

CONSULTANTS:

A) WHERE THE INITIATION OF STABILIZATION BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY OR PERMANENTLY CEASES IS PRECLUDED BY SNOW COVER, STABILIZATION MEASURES SHALL BE INITIATED AS SOON AS PRACTICAL.

B) WHERE CONSTRUCTION ACTIVITY WILL RESUME ON A PORTION OF THE SITE WITHIN 21 DAYS FROM WHEN ACTIVITIES CEASED (E.G. THE TOTAL TIME PERIOD THAT THE CONSTRUCTION IS TEMPORARILY CEASED IS LESS THAN 21 DAYS) THEN STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE BY THE 14TH DAY AFTER CONSTRUCTION ACTIVITY TEMPORARILY CEASED.

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PUTNAM COUNTY NEW YORK

CONTRACT

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STATUS

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SHEET TITLE

EROSION & SEDIMENT CONTROL PLAN

SHEET #

C4.0

LEGEND

OB	BOLLARD
—150—	CONTOUR LINE
CMP	CORRUGATED METAL PIPE
CPP	CORRUGATED PLASTIC PIPE
DI	DROP INLET
FH	FIRE HYDRANT
GV	GAS VALVE
LD	LAMP (DOUBLE)
LS	LAMP (SINGLE)
L	LAMP
P	POLE
PVC	POLYVINYL CHLORIDE PIPE
POST	POST
RCP	REINFORCED CONCRETE PIPE
RET	RETAINING WALL
S	SIGN (SMALL)
362.8	SPOT ELEVATION
±1212.7	TOP & BOTTOM ELEVATIONS
±215.9	

E&S LEGEND

DESCRIPTION	SYMBOL
NEW SILT FENCE	SF
NEW STOCKPILE	SF
NEW INLET	SF
SEDIMENT BAG	SF

SEQUENCE OF CONSTRUCTION:

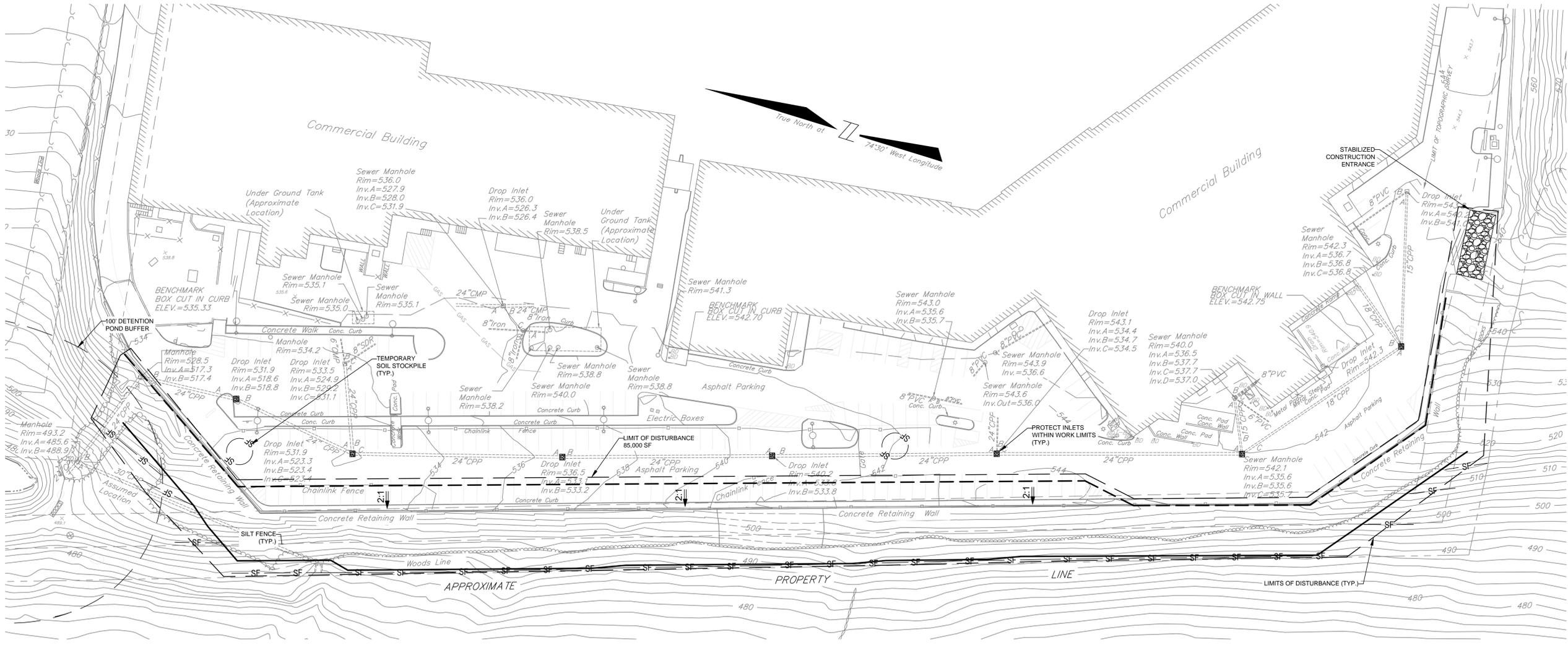
SCHEDULE BELOW IS A GUIDE ONLY. MODIFICATIONS CAN BE INITIATED/ADJUSTED IN FIELD BY PERMISSION OF THE ENGINEER.

- LIMITS OF CLEARING - BEFORE CONSTRUCTION, PLACE FLAGS DELINEATING LIMITS OF DISTURBANCE.
- CONSTRUCTION ENTRANCE - INSTALL GRAVEL BUFFER OF 2" STONE, 8" DEEP AT CONSTRUCTION ENTRANCE IMMEDIATELY AFTER INITIAL DISTURBANCES AS PER DRAWINGS. ALL CONSTRUCTION TRAFFIC MUST USE THIS ENTRANCE FOR INGRESS AND EGRESS. DURING WET WEATHER IT MAY BE NECESSARY TO WASH VEHICLE TIRES AT THESE LOCATIONS. ENTRANCES TO BE GRADED TO DIRECT RUNOFF ONTO CONSTRUCTION SITE.
- SILTATION CONTROLS - PLACE AND MAINTAIN THE SILT FENCES AS SHOWN ON THE PLAN. SEDIMENT ACCUMULATION FROM BARRIERS AND OTHER SPOIL MATERIAL TO BE PLACED WITHIN THE CONSTRUCTION AREA AS DIRECTED BY THE ENGINEER. THE CONSTRUCTION ENTRANCE AND SILT FENCE SHOULD BE INSTALLED PRIOR TO ANY OTHER EARTH DISTURBANCES. PLACE AND MAINTAIN CONSTRUCTION FENCING SHOWN ON THE PLAN WITH CONSTRUCTION IN SEGMENTS. IF SILT FENCE IS DAMAGED IN AREAS OF ACTIVE CONSTRUCTION, OTHER TEMPORARY MEANS OF SILT PROTECTION WITH STANDARD PROCEDURES (SEE SHEET C4.1) SUCH AS CHECK DAMS ARE TO BE USED UNTIL SILT FENCE CAN BE RESTORED.
- RETAINING WALL CONSTRUCTION - UPON COMPLETION OF GRADING, STABILIZE SLOPES. SEEDING AND/OR MULCHING OF ALL DISTURBED AREAS SHALL BE COMPLETED AT THE END OF EACH WEEK.
- FINAL STABILIZATION - ALL OPEN AREAS TO BE STABILIZED WITH TOPSOIL AND SEED. REMOVE ALL TEMPORARY MEASURES, REMOVE AND DISPOSE OF ALL TRAPPED SEDIMENT.

SEDIMENT AND EROSION CONTROL NOTES:

- PROTECT ALL TREES WHICH ARE TO REMAIN OR NEAR CONSTRUCTION AREAS AS DIRECTED IN THE FIELD WITH SNOW FENCING PLACED AROUND THE TREE TRUNK. PLACE SNOW FENCING AT THE TREE DRIPLINE SURROUNDING TREES, IF POSSIBLE, OR TO MAINTAIN A MINIMUM DIAMETER OF TEN FEET AROUND TREES. WHERE FENCING MUST BE PLACED CLOSER THAN THE DRIPLINE, PLACE 4" OF WOODCHIP PROTECTION OVER THE ROOT ZONE TO EXTEND THE DRIPLINE. MAINTAIN THIS WOODCHIP PROTECTION FOR THE DURATION OF CONSTRUCTION.
- SEED ALL DISTURBED AREAS, WHICH WILL REMAIN UNDISTURBED FOR A PERIOD OF 14 DAYS OR MORE WITH TEMPORARY RYEGRASS COVER AS FOLLOWS (METHOD OF SEEDING IS OPTIONAL):
A) LOOSEN SEEDBED BY DISCING TO A 4" DEPTH
B) SEED WITH 30 LBS. PER ACRE PERENNIAL OR ANNUAL RYEGRASS
C) MULCH WITH 100 - 200 BALES PER ACRE OF BLOWN AND CHOPPED HAY, BOUND IN PLACE WITH 2,000 LBS. PER ACRE CELLULOSE FIBER MULCH, AND WITH AN APPROVED TACKIFIER BINDER.
- ALL AREAS IN EXCESS OF 7% SHALL HAVE TEMPORARY SEEDING OF FAST GERMINATION RYEGRASS, 1.0 TO 1.5 LBS. PER 1,000 SQUARE FEET APPLIED IF LEFT UNDISTURBED GREATER THAN 10 DAYS.
- GRADED AREAS - UPPER ELEVATIONS, PROVIDE TEMPORARY DRAINAGE SWALES, 1% GRADE MINIMUM TO DIRECT RUNOFF AWAY FROM CONSTRUCTION SITES. DISCHARGE AREAS AND ENERGY DISPERSION REQUIREMENTS IF DIFFERENT THAN DESIGNED MUST BE REVIEWED AND APPROVED BY ENGINEER.
- IF CONSTRUCTION IS SUSPENDED OR COMPLETED, ALL DISTURBED AREAS SHALL BE SEED AND MULCHED IMMEDIATELY. ALL SLOPES STEEPER THAN ONE ON THREE (V/H) AND PERIMETER TRENCHES AND TRAP EMBANKMENTS SHALL, ON COMPLETION, BE IMMEDIATELY STABILIZED WITH TEMPORARY SEEDING AND MULCHING.
- AFTER COMPLETION OF SITE CONSTRUCTION, FINE GRADE AND SPREAD TOPSOIL ON ALL LAWN AREAS AND SEED WITH PERMANENT LAWN MIX.
- DURING THE PROGRESS OF CONSTRUCTION, MAINTAIN ALL SEDIMENT TRAPS, BARRIERS, AND FILTERS AS NECESSARY TO PREVENT CLOGGING WITH SEDIMENT.
- AFTER PAVEMENTS ARE INSTALLED AND PERMANENT VEGETATIVE COVER AND PLANTINGS ARE ESTABLISHED, REMOVE SEDIMENT BARRIERS AND SEED THOSE DISTURBED AREAS.
- MAINTAIN ALL SEEDING AND PLANTING AREAS TO ENSURE A VIABLE STABILIZED VEGETATIVE COVER.

TOTAL LAND DISTURBANCE = 1.75 ACRES



Erosion & Sediment Control Plan
SCALE: 1"=40'-0"

SCALE 1" = 40'

1) SITE DESCRIPTION

PROJECT NAME & LOCATION	LAKEVIEW SHOPPING PLAZA RETAINING WALL REPLACEMENT TOWN OF SOUTHEAST PUTNAM COUNTY, NY
APPLICANT/OWNER NAME & ADDRESS:	CSFB2007-C4 LAKEVIEW PLAZA SHOPPING CENTER, LLC C/O TORCHLIGHT LOAN SERVICES, LLC 230 PARK AVENUE NEW YORK, NY 10189
GENERAL CONTRACTOR	TO BE DETERMINED

DESCRIPTION:
THE EXISTING PROJECT SITE CONSISTS OF 23.06 ACRES OF EXISTING COMMERCIAL DEVELOPMENT LOCATED IN THE TOWN OF SOUTHEAST, PUTNAM COUNTY, NEW YORK WITH FRONTAGE ON NYS ROUTE 22. THE PROPOSED PROJECT INCLUDES THE CONSTRUCTION OF A NEW RETAINING WALL APPROXIMATELY 1,100 FEET IN LENGTH BELOW THE EXISTING FAILING RETAINING WALL.

ACCORDING TO THE UNITED STATES DEPARTMENT OF AGRICULTURE NATURAL RESOURCES CONSERVATION SERVICE, WEBB SOIL SURVEY, SOILS PRESENT WITHIN THE PROJECT SITE INCLUDE CHARLTON (ChE), PAXTON (PnB) (PnD), RIDGEBURY (RdB), SUN (Sn) AND URDAN (Uj) (UpB).

SITE AREA:
THE PROJECT AREA INCLUDES APPROXIMATELY 1.75 ACRES OF DISTURBANCE BY CONSTRUCTION ACTIVITIES.

NAME OF RECEIVING WATERS:
BOG BROOK RESERVOIR

2) SUPPORTING PLANS

- SITE PLAN DRAWINGS ENTITLED AS "LAKEVIEW SHOPPING PLAZA RETAINING WALL REPLACEMENT," PREPARED BY H2M ARCHITECTS + ENGINEERS, LAST REVISED 2/21/2018.

3) SEQUENCE OF CONSTRUCTION:

SCHEDULE BELOW IS A GUIDE ONLY. MODIFICATIONS CAN BE INITIATED/ADJUSTED IN FIELD BY PERMISSION OF THE ENGINEER.

- LIMITS OF CLEARING - BEFORE CONSTRUCTION, PLACE FLAGS DELINEATING LIMITS OF DISTURBANCE.
- CONSTRUCTION ENTRANCE - INSTALL GRAVEL BUFFER OF 2" STONE, 8" DEEP AT CONSTRUCTION ENTRANCE IMMEDIATELY AFTER INITIAL DISTURBANCES AS PER DRAWINGS. ALL CONSTRUCTION TRAFFIC MUST USE THIS ENTRANCE FOR INGRESS AND EGRESS. DURING WET WEATHER IT MAY BE NECESSARY TO WASH VEHICLE TIRES AT THESE LOCATIONS. ENTRANCES TO BE GRADED TO DIRECT RUNOFF ONTO CONSTRUCTION SITE.
- SILTATION CONTROLS - PLACE AND MAINTAIN THE SILT FENCES AS SHOWN ON THE PLAN. SEDIMENT ACCUMULATION FROM BARRIERS AND OTHER SPOIL MATERIAL TO BE PLACED WITHIN THE CONSTRUCTION AREA AS DIRECTED BY THE ENGINEER. THE CONSTRUCTION ENTRANCE AND SILT FENCE SHOULD BE INSTALLED PRIOR TO ANY OTHER EARTH DISTURBANCES. PLACE AND MAINTAIN CONSTRUCTION FENCING SHOWN ON THE PLAN WITH CONSTRUCTION IN SEGMENTS. IF SILT FENCE IS DAMAGED IN AREAS OF ACTIVE CONSTRUCTION, OTHER TEMPORARY MEANS OF SILT PROTECTION WITH STANDARD PROCEDURES (SEE SHEET C4.1) SUCH AS CHECK DAMS ARE TO BE USED UNTIL SILT FENCE CAN BE RESTORED.
- RETAINING WALL CONSTRUCTION - CONSTRUCTION IN LINEAR SEGMENTS. RESTORE DAMAGED CONTROLS IN ZONES WHEN COMPLETE. UPON COMPLETION OF GRADING, STABILIZE SLOPES, SEEDING AND/OR MULCHING OF ALL DISTURBED AREAS SHALL BE COMPLETED AT THE END OF EACH WEEK.
- FINAL STABILIZATION - ALL OPEN AREAS TO BE STABILIZED WITH TOPSOIL AND SEEDED. REMOVE ALL TEMPORARY MEASURES, REMOVE AND DISPOSE OF ALL TRAPPED SEDIMENT.

4) CONTROLS

EROSION AND SEDIMENT CONTROLS STABILIZATION PRACTICES

TEMPORARY STABILIZATION:

TOPSOIL STOCK PILES AND DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS WILL BE STABILIZED WITH TEMPORARY SEED AND MULCH NO LATER THAN 14 DAYS FROM THE LAST CONSTRUCTION ACTIVITY IN THAT AREA. ALL GRASS SEED MIXTURES AND APPLICATION RATES SHALL COMPLY WITH TOWN OF SOUTHEAST REQUIREMENTS.

PERMANENT STABILIZATION:

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES PERMANENTLY CEASE SHALL BE STABILIZED WITH PERMANENT SEED NO LATER THAN 14 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY. ALL GRASS SEED MIXTURES AND APPLICATION RATES SHALL COMPLY WITH TOWN OF SOUTHEAST REQUIREMENTS.

STRUCTURAL PRACTICES:

PROPOSED METHODS INCLUDE SILT FENCES, RIP-RAP, INLET PROTECTION AND CONSTRUCTION ENTRANCES. REFER TO THE SEDIMENT & EROSION CONTROL PLAN AND CONSTRUCTION DETAILS SHEETS FOR THE LOCATION AND CONSTRUCTION REQUIREMENTS OF THE PROPOSED STRUCTURAL PRACTICES.

WASTE MATERIALS:

ALL TRASH AND CONSTRUCTION DEBRIS FROM THE SITE WILL BE DEPOSITED IN DUMPSTERS. DUMPSTERS WILL BE EMPTIED AS NECESSARY, AND TRASH WILL BE HAULED OFF-SITE TO PROPOSED AREA BY CONTRACTOR. NO CONSTRUCTION WASTE MATERIALS WILL BE BURIED ON SITE. ALL PERSONNEL WILL BE INSTRUCTED REGARDING THE CORRECT PROCEDURE FOR WASTE DISPOSAL. NOTICES STATING THESE PRACTICES WILL BE POSTED IN THE OFFICE TRAILER AND REQUIRED AREAS. THE INDIVIDUAL WHO MANAGES THE DAY-TO-DAY SITE OPERATIONS WILL BE RESPONSIBLE TO SEEING THAT THESE PRACTICES ARE FOLLOWED.

HAZARDOUS WASTE:

ALL HAZARDOUS WASTE MATERIALS WILL BE DISPOSED OF IN THE MANNER SPECIFIED BY LOCAL OR STATE REGULATION OR BY THE MANUFACTURER. SITE PERSONNEL WILL BE INSTRUCTED IN THESE PRACTICES. THE INDIVIDUAL WHO MANAGES DAY-TO-DAY OPERATIONS WILL BE RESPONSIBLE FOR SEEING THAT THESE PRACTICES ARE FOLLOWED.

SANITARY WASTE:

ALL SANITARY WASTE GENERATED DURING CONSTRUCTION WILL BE COLLECTED FROM PORTABLE UNITS BY A LICENSED SANITARY WASTE MANAGEMENT CONTRACTOR.

OFFSITE VEHICLE TRACKING:

A STABILIZED CONSTRUCTION ENTRANCE WILL BE PROVIDED TO HELP REDUCE VEHICLE TRACKING OF SEDIMENTS. EXISTING PAVED ROADWAYS LOCATED ADJACENT TO THE CONSTRUCTION SITE ENTRANCES WILL BE SWEEP DAILY TO REMOVE EXCESS MUD, DIRT, OR ROCK TRACKED FROM THE SITE. DUMP TRACKS HAULING MATERIALS FROM THE CONSTRUCTION SITE WILL BE COVERED WITH TARPAULIN.

TIMING OF CONTROL MEASURES:

AS INDICATED IN THE SEQUENCE OF CONSTRUCTION, THE STABILIZED CONSTRUCTION ENTRANCES AND OTHER SEDIMENT AND EROSION CONTROLS WILL BE CONSTRUCTED PRIOR TO EARTHWORK ACTIVITIES ON ANY PART OF THE SITE. AREAS WHERE CONSTRUCTION ACTIVITY TEMPORARILY CEASES FOR AT LEAST 14 DAYS WILL BE STABILIZED WITH A TEMPORARY SEED AND MULCH WITHIN 14 DAYS OF THE LAST DISTURBANCE. ONCE CONSTRUCTION ACTIVITY CEASES PERMANENTLY IN AN AREA, THAT AREA WILL BE STABILIZED WITH PERMANENT SEED AND MULCH. AFTER THE ENTIRE SITE IS STABILIZED, ACCUMULATED SEDIMENTS WILL BE REMOVED FROM THE SEDIMENT AND EROSION CONTROL STRUCTURES AND THE CONTROLS WILL BE REMOVED.

CERTIFICATION OF COMPLIANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS:

THE STORMWATER POLLUTION PREVENTION PLAN REFLECTS NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION REQUIREMENTS FOR STORMWATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL AS ESTABLISHED IN ARTICLE 17, TITLES 7.8 AND ARTICLE 70 OF THE ENVIRONMENTAL CONSERVATION LAW. TO ENSURE COMPLIANCE, THIS PLAN WAS PREPARED IN ACCORDANCE WITH GUIDELINES ISSUED WITH THE SPDES GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES THAT ARE CLASSIFIED AS "ASSOCIATED WITH CONSTRUCTION ACTIVITY", PUBLISHED BY THE NEW YORK STATE DEPARTMENT OF ENVIRONMENTAL CONSERVATION.

5) MAINTENANCE/INSPECTION PROCEDURES:

LONG TERM MAINTENANCE

THE OWNER / OPERATOR WILL BE RESPONSIBLE FOR LONG TERM MAINTENANCE OF SEDIMENT AND EROSION CONTROL.

SEDIMENT & EROSION CONTROL INSPECTION AND MAINTENANCE PRACTICES

- ALL CONTROL MEASURES WILL BE INSPECTED AT LEAST ONCE EACH WEEK AND IMMEDIATELY FOLLOWING ANY STORM EVENT OF 0.5 INCHES OR GREATER.
- ALL MEASURES WILL BE MAINTAINED IN GOOD WORKING ORDER. IF A REPAIR IS NECESSARY IT WILL BE INITIATED WITHIN 24 HOURS OF REPORT.
- BUILT-UP SEDIMENT WILL BE REMOVED FROM SILT FENCE WHEN IT HAS REACHED ONE-THIRD THE HEIGHT OF THE FENCE.
- SILT FENCE WILL BE INSPECTED FOR DEPTH OF SEDIMENT, TEARS, TO SEE IF THE FABRIC IS SECURELY ATTACHED TO THE FENCE, AND POSTS ARE FIRMLY IN THE GROUND. TEMPORARY AND PERMANENT SEEDING AND PLANTING WILL BE INSPECTED FOR BARE SPOTS, WASHOUTS, AND HEALTHY GROWTH.
- A MAINTENANCE INSPECTION REPORT WILL BE MADE AFTER EACH INSPECTION AND DELIVERED TO THE TOWN OF SOUTHEAST STORMWATER MANAGEMENT OFFICIAL IN ACCORDANCE WITH TOWN CODE.

JOB SUPERVISOR WILL SELECT INDIVIDUALS WHO MUST BE A CERTIFIED PROFESSIONAL AND WILL BE RESPONSIBLE FOR WEEKLY (& AFTER EVERY ½ INCH OF RAIN) INSPECTIONS, MAINTENANCE, AND REPAIR ACTIVITIES, AND FILLING OUT THE INSPECTION AND MAINTENANCE REPORTS. INSPECTION REPORTS SHALL SUMMARIZE:
 - NAME OF INSPECTOR
 - QUALIFICATIONS OF INSPECTOR
 - AREAS INSPECTED, INCLUDING MEASUREMENTS
 - OBSERVED CONDITIONS
 - CHANGES NECESSARY TO THE SWPPP

PERSONNEL SELECTED FOR INSPECTION AND MAINTENANCE RESPONSIBILITIES WILL RECEIVE TRAINING FROM THE JOB SUPERVISOR. THEY WILL BE TRAINED IN ALL THE INSPECTION AND MAINTENANCE PRACTICES NECESSARY FOR KEEPING EROSION AND SEDIMENT CONTROLS USED ON SITE IN GOOD WORKING ORDER.

6) NON-STORM WATER DISCHARGES

NON-STORMWATER DISCHARGES ARE NOT EXPECTED.

7) INVENTORY FOR POLLUTION PREVENTION PLAN

THE MATERIALS OR SUBSTANCES LISTED BELOW ARE EXPECTED TO BE PRESENT ON THE SITE DURING CONSTRUCTION:

- CONCRETE
- DETERGENTS
- ASPHALT AND PAVING MATERIALS
- SEED, SOD AND MULCH
- MASONRY BLOCK
- FERTILIZERS
- PETROLEUM BASED PRODUCTS
- CLEANING SOLVENTS
- WOOD
- GEOTEXTILE FABRICS

8) SPILL CONTROL & PREVENTION

MATERIAL MANAGEMENT PRACTICES

THE FOLLOWING ARE THE MATERIAL MANAGEMENT PRACTICES THAT WILL BE USED TO REDUCE THE RISK OF SPILLS OR ACCIDENTAL EXPOSURE OF MATERIALS AND SUBSTANCES TO STORMWATER RUNOFF.

GOOD HOUSEKEEPING

THE FOLLOWING GOOD HOUSEKEEPING PRACTICES WILL BE FOLLOWED ON SITE DURING THE CONSTRUCTION PROJECT:

- AN EFFORT WILL BE MADE TO STORE ONLY ENOUGH PRODUCT REQUIRED TO DO THE JOB.
- ALL MATERIALS STORED ON SITE WILL BE STORED IN A NEAT, ORDERLY MANNER IN THEIR APPROPRIATE CONTAINERS AND, IF POSSIBLE UNDER A ROOF OR ENCLOSURE.
- PRODUCTS WILL BE KEPT IN THEIR ORIGINAL CONTAINERS WITH THE ORIGINAL MANUFACTURER'S LABEL.
- SUBSTANCES WILL NOT BE MIXED WITH ONE ANOTHER UNLESS RECOMMENDED BY THE MANUFACTURER.
- WHENEVER POSSIBLE, ALL OF A PRODUCT WILL BE USED UP BEFORE DISPOSING OF THE CONTAINER.
- MANUFACTURERS' RECOMMENDATIONS FOR PROPOSE USE AND DISPOSAL WILL BE FOLLOWED.
- THE JOB SUPERVISOR WILL INSPECT DAILY TO ENSURE PROPER USE AND DISPOSAL OF MATERIALS ON SITE.

HAZARDOUS PRODUCTS:

THE FOLLOWING PRACTICES WILL BE USED TO REDUCE THE RISK ASSOCIATED WITH HAZARDOUS MATERIALS:

- PRODUCTS WILL BE KEPT IN ORIGINAL CONTAINERS UNLESS THEY ARE NOT RESEALABLE.
- ORIGINAL LABELS AND MATERIAL SAFETY DATA WILL BE RETAINED; THEY CONTAIN IMPORTANT PRODUCT INFORMATION.
- IF SURPLUS PRODUCT MUST BE DISPOSED OF, MANUFACTURERS' OR LOCAL OR STATE RECOMMENDED METHODS FOR PROPER DISPOSAL WILL BE FOLLOWED.

PRODUCT SPECIFIC PRACTICES:

THE FOLLOWING PRODUCT SPECIFIC PRACTICES WILL BE FOLLOWED ON SITE:

PETROLEUM PRODUCTS:

ALL ON SITE VEHICLES WILL BE MONITORED FOR LEAKS AND RECEIVE REGULAR PREVENTATIVE MAINTENANCE TO REDUCE THE CHANCE OF LEAKAGE. PETROLEUM PRODUCTS WILL BE STORED IN TIGHTLY SEALED CONTAINERS WHICH ARE CLEARLY LABELED. ANY ASPHALT SUBSTANCES USED ON SITE WILL BE APPLIED ACCORDING TO THE MANUFACTURERS' RECOMMENDATIONS.

FERTILIZERS:

FERTILIZERS USED WILL BE APPLIED ONLY IN THE MINIMUM AMOUNTS RECOMMENDED BY THE MANUFACTURER. ONCE APPLIED, FERTILIZER WILL BE WORKED INTO THE SOIL, BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS. NO PHOSPHORUS PRODUCTS WILL BE USED.

PAINTS:

ALL CONTAINERS WILL BE TIGHTLY SEALED AND STORED WHEN NOT REQUIRED FOR USE. EXCESS PAINT WILL NOT BE DISCHARGED TO THE STORM DRAINAGE SYSTEM, BUT WILL BE PROPERLY DISPOSED OF ACCORDING TO MANUFACTURERS' INSTRUCTIONS OR STATE AND LOCAL REGULATIONS.

CONCRETE TRUCKS:

CONCRETE TRUCKS WILL NOT BE ALLOWED TO WASH OUT OR DISCHARGE SURPLUS CONCRETE OR DRUM WASH WATER ON THE SITE.

SPILL CONTROL PRACTICES:

IN ADDITION TO THE GOOD HOUSEKEEPING AND MATERIAL MANAGEMENT PRACTICES DISCUSSED IN THE PREVIOUS SECTIONS OF THIS PLAN, THE FOLLOWING PRACTICES WILL BE FOLLOWED FOR SPILL PREVENTION AND CLEANUPS.

- MANUFACTURERS' RECOMMENDED METHODS FOR SPILL CLEANUP WILL BE CLEARLY POSTED AND SITE PERSONNEL WILL BE MADE AWARE OF PROCEDURES AND THE LOCATION OF THE INFORMATION AND CLEANUP SUPPLIES.
- MATERIALS AND EQUIPMENT NECESSARY FOR SPILL CLEANUP WILL BE KEPT IN THE MATERIAL STORAGE AREA ON SITE. EQUIPMENT AND MATERIALS WILL INCLUDE, BUT NOT BE LIMITED TO, BROOMS, DUST PANS, MOPS, RAGS, GLOVES, GOGGLES, KITTY LITTER, SAND, SAWDUST, AND PLASTIC AND METAL TRASH CONTAINERS SPECIFICALLY FOR THIS PURPOSE.
- ALL SPILLS WILL BE CLEANED UP IMMEDIATELY AFTER DISCOVERY.
- THE SPILL AREA WILL BE KEPT VENTILATED, AND PERSONNEL WILL WEAR APPROPRIATE PROTECTIVE CLOTHING TO PREVENT INJURY FROM CONTACT WITH A HAZARDOUS SUBSTANCE.
- SPILL OF TOXIC OR HAZARDOUS MATERIAL WILL BE REPORTED TO THE APPROPRIATE STATE OR LOCAL GOVERNMENT AGENCY, REGARDLESS OF THE SIZE OF THE SPILL.
- THE SPILL PREVENTION PLAN WILL BE ADJUSTED TO INCLUDE MEASURE TO PREVENT THIS TYPE OF SPILL FROM RECURRING AND HOW TO CLEAN UP THE SPILL IF THERE IS ANOTHER ONE. A DESCRIPTION OF THE SPILL, WHAT CAUSED IT, AND THE CLEANUP MEASURE WILL ALSO BE INCLUDED.

SPILL WILL BE DOCUMENT IN THE SPILL CONTROL AND PREVENTION LOG AS BELOW IN ITEM (9).

JOB SUPERVISOR AND HIS DESIGNEES RESPONSIBLE FOR THE DAY-TO-DAY SITE OPERATIONS WILL BE THE SPILL PREVENTION AND CLEANUP COORDINATOR.

9) SPILL CONTROL & PREVENTION LOG

DATE OF SPILL	MATERIAL SPILLED	SPILL LOCATION	CAUSE	CLEAN UP	AGENCY REPORTED (TOXIC/HAZARDOUS)	RECURRENT PREVENTION MEASURE

10) POLLUTION PREVENTION PLAN CERTIFICATION

"I CERTIFY UNDER PENALTY OF LAW THAT THIS DOCUMENT AND ALL ATTACHMENTS WERE PREPARED UNDER MY DIRECTION OR SUPERVISION IN ACCORDANCE WITH A SYSTEM DESIGNED TO ASSURE THAT QUALIFIED PERSONNEL PROPERLY GATHERED AND EVALUATED THE INFORMATION SUBMITTED. BASED ON MY INQUIRY OF THE PERSON OR PERSONS WHO MANAGE THE SYSTEM, OR THOSE PERSON DIRECTLY RESPONSIBLE FOR GATHERING THE INFORMATION, THE INFORMATION SUBMITTED IS, TO THE BEST OF MY KNOWLEDGE AND BELIEF, TRUE, ACCURATE, AND COMPLETE. I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

SIGNED: _____

SITE CONTRACTOR

DATE: _____

11) CONTRACTOR'S CERTIFICATION

"I CERTIFY UNDER PENALTY OF LAW THAT I UNDERSTAND AND AGREE TO COMPLY WITH THE TERMS AND CONDITIONS OF THE SWPPP AND AGREE TO IMPLEMENT ANY CORRECTIVE ACTIONS IDENTIFIED BY THE QUALIFIED INSPECTOR DURING SITE INSPECTION. I ALSO UNDERSTAND THAT THE OWNER OR OPERATOR MUST COMPLY WITH THE TERMS AND CONDITIONS OF THE MOST CURRENT VERSION OF THE NEW YORK STATE POLLUTANT DISCHARGE ELIMINATION SYSTEM ("SPDES") GENERAL PERMIT FOR STORMWATER DISCHARGES FROM CONSTRUCTION ACTIVITIES AND THIS IS UNLAWFUL FOR ANY PERSON TO CAUSE OR CONTRIBUTE TO A VIOLATION OF WATER QUALITY STANDARDS. FURTHERMORE, I AM AWARE THAT THERE ARE SIGNIFICANT PENALTIES FOR SUBMITTING FALSE INFORMATION, THAT I DO NOT BELIEVE TO BE TRUE, INCLUDING THE POSSIBILITY OF FINE AND IMPRISONMENT FOR KNOWING VIOLATIONS."

SITE WORK CONTRACTOR

(SIGNATURE) _____ (COMPANY) _____

(NAME) _____ (STREET/ADDRESS) _____

(TITLE) _____ (CITY, STATE, ZIP) _____

(DATE) _____ (PHONE NUMBER) _____

GENERAL CONTRACTOR

(SIGNATURE) _____ (COMPANY) _____

(NAME) _____ (STREET/ADDRESS) _____

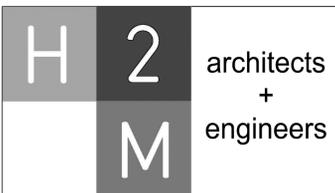
(TITLE) _____ (CITY, STATE, ZIP) _____

(DATE) _____ (PHONE NUMBER) _____

12) POST-CONSTRUCTION MAINTENANCE

FOLLOWING THE PERMANENT STABILIZATION OF ALL CONSTRUCTION ACTIVITIES, THE OWNER OF THE SITE IS TO BE RESPONSIBLE FOR MAINTAIN THE SITE'S STORMWATER CONTROLS.

- BIORETENTION BASINS (2) - INSPECT AND REMOVE DEBRIS FROM BASIN AND OUTLET STRUCTURE, MAINTAIN SLOPES, PLANT/RESEED TO PROTECT AGAINST EROSION.
- STORMWATER POND - WET POND (1) - INSPECT AND REMOVE DEBRIS FROM POND AND OUTLET STRUCTURE, MAINTAIN SLOPES, PLANT/RESEED TO PROTECT AGAINST EROSION.
- SEDIMENT REMOVAL IN THE FOREBAY SHALL OCCUR EVERY FIVE (5) TO SIX (6) YEARS OR AFTER 50% OF TOTAL FOREBAY CAPACITY HAS BEEN LOST.
- ALL REQUIRED SAFETY ELEMENTS MUST BE INSPECTED AND MAINTAINED ON AN ANNUAL BASIS, UNLESS PRIOR INSPECTIONS INDICATE MORE FREQUENT MAINTENANCE IS REQUIRED.
- CATCH BASIN AND STORM MANHOLE SUMPS (INCLUDING OIL/SEPARATOR MANHOLES/BASINS) SHALL BE INSPECTED AND CLEANED WHEN 50% OF THE SUMP CAPACITY IS FILLED WITH SEDIMENT.
- INLET GRATES SHALL BE INSPECTED REGULARLY AND DEBRIS REMOVED FROM GRATE WHEN NECESSARY.
- SEEDED AREAS SHALL BE RESEDED IF NECESSARY TO PROTECT AGAINST EROSION.
- INSPECT AND CLEAN STORM SEWER PIPES.
- PREPARE SEMI-ANNUAL INSPECTION LOGS/REPORTS.



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White Plains, NY 10604
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Howell, NJ 07731

CONSULTANTS:

REV	DATE	DESCRIPTION
2	02/21/2018	AMENDED SITE PLAN APPLICATION
1	09/15/2017	RELEASED TO CONTRACTORS

PROJECT #: CUWA 17-01	SEAL
DATE: 08/03/2017	
DESIGNED BY: DGL	
DRAWN BY: TM	
CHECKED BY:	REVIEWED BY:

*ALTERATION OF THIS DOCUMENT EXCEPT BY A LICENSED PROFESSIONAL ENGINEER.

CLIENT

**CUSHMAN & WAKEFIELD,
INC. A/A/F/
CSFB 2007-C4 LAKEVIEW
PLAZA SHOPPING
CENTER, LLC**

**PUTNAM COUNTY
NEW YORK**

CONTRACT

**LAKEVIEW SHOPPING PLAZA
RETAINING WALL
REPLACEMENT**

STATUS
**PLANNING REVIEW
NOT FOR CONSTRUCTION**

SHEET TITLE
**STORMWATER POLLUTION
PREVENTION PLAN NOTES**

SHEET #

C4.1

CONSULTANTS:

REV	DATE	DESCRIPTION
2	02/21/2018	AMENDED SITE PLAN APPLICATION
1	09/15/2017	RELEASED TO CONTRACTORS

PROJECT #: CUWA 17-01	SEAL
DATE: 08/18/2017	
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DRAWN BY: TM	
CHECKED BY:	REVIEWED BY:

CLIENT
**CUSHMAN & WAKEFIELD,
INC. A/A/F/
CSFB 2007-C4 LAKEVIEW
PLAZA SHOPPING
CENTER, LLC**

**PUTNAM COUNTY
NEW YORK**

CONTRACT
**LAKEVIEW SHOPPING PLAZA
RETAINING WALL
REPLACEMENT**

STATUS
**PLANNING REVIEW
NOT FOR CONSTRUCTION**

SHEET TITLE
LANDSCAPING PLAN

SHEET #
C5.0



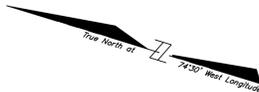
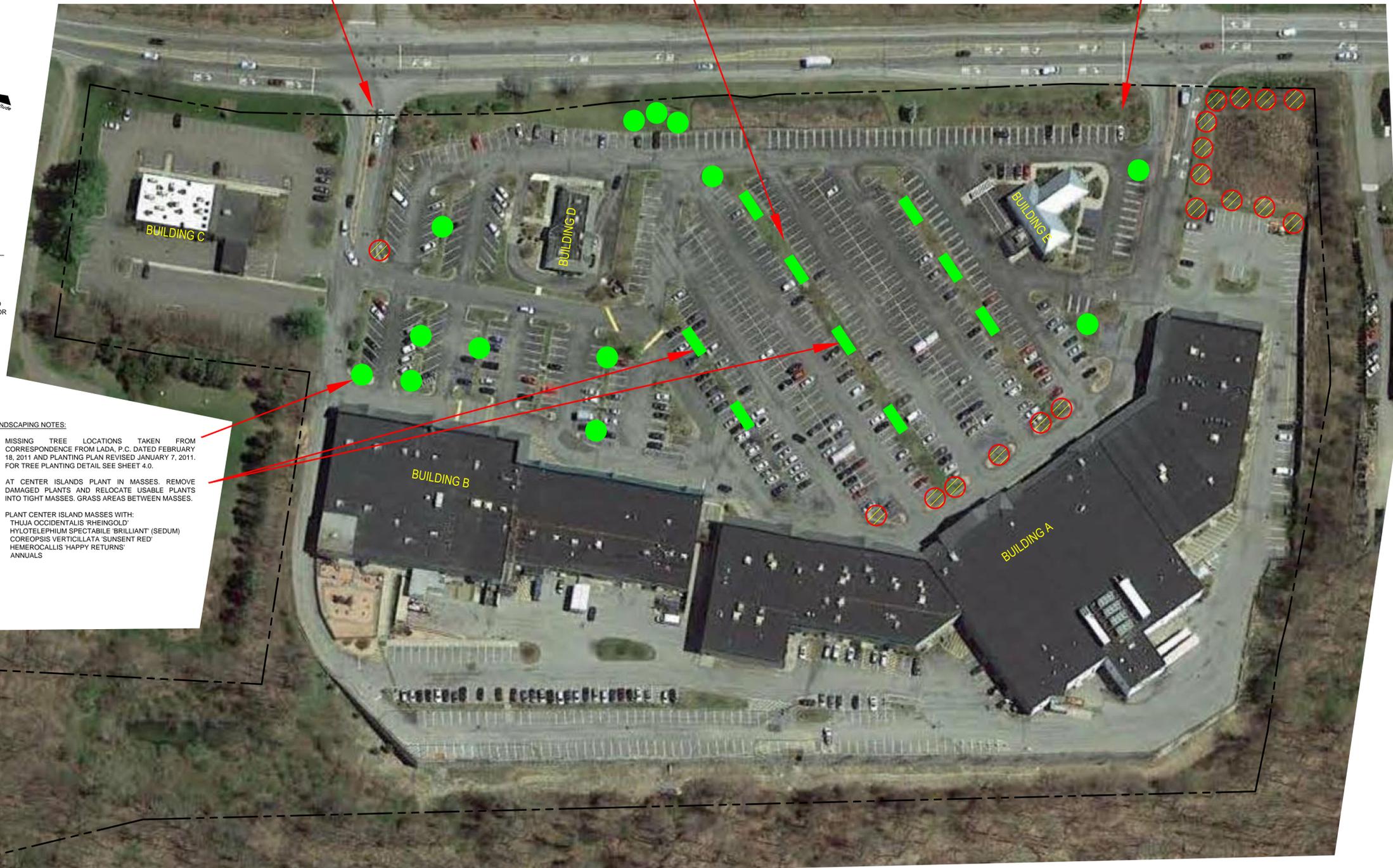
View Of North Entrance
SCALE: NTS



View Of Center Island
SCALE: NTS



View Of South Entrance
SCALE: NTS



LEGEND

- MISSING TREE TO BE INSTALLED
- / MISSING TREE NOT RECOMMENDED DUE TO LIMITED SIGHT DISTANCE OR PROXIMITY TO DETENTION BASIN. RELOCATE AS NEEDED.
- CENTER ISLAND PLANTING MASSES

- LANDSCAPING NOTES:**
- MISSING TREE LOCATIONS TAKEN FROM CORRESPONDENCE FROM LADA, P.C. DATED FEBRUARY 18, 2011 AND PLANTING PLAN REVISED JANUARY 7, 2011. FOR TREE PLANTING DETAIL SEE SHEET 4.0.
 - AT CENTER ISLANDS PLANT IN MASSES. REMOVE DAMAGED PLANTS AND RELOCATE USABLE PLANTS INTO TIGHT MASSES. GRASS AREAS BETWEEN MASSES.
 - PLANT CENTER ISLAND MASSES WITH:
 THUJA OCCIDENTALIS 'RHEINGOLD'
 HYLOTELEPHIUM SPECTABILE 'BRILLIANT' (SEDUM)
 COREOPSIS VERTICILLATA 'SUNSET RED'
 HEMEROCALLIS 'HAPPY RETURNS'
 ANNUALS

LANDSCAPING TREES	
NOTED AS MISSING	55
PLANTED PER INSPECTION 2017	24
NOT RECOMMENDED	18
PROPOSED	13



CONSULTANTS:

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CHECKED BY:		
REVIEWED BY:		

CLIENT

CUSHMAN & WAKEFIELD, INC. A/A/F/

CSFB 2007-C4 LAKEVIEW PLAZA SHOPPING CENTER, LLC

PUTNAM COUNTY NEW YORK

CONTRACT

LAKEVIEW SHOPPING PLAZA RETAINING WALL REPLACEMENT

STATUS

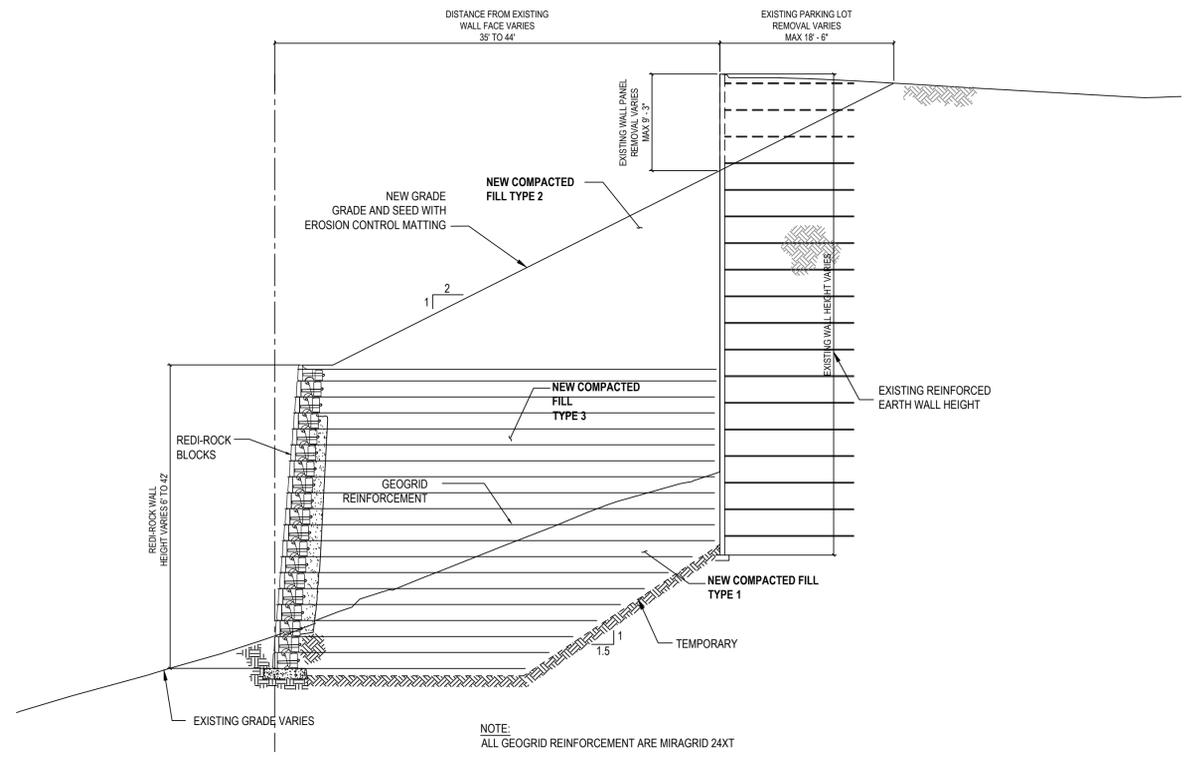
PLANNING REVIEW NOT FOR CONSTRUCTION

SHEET TITLE

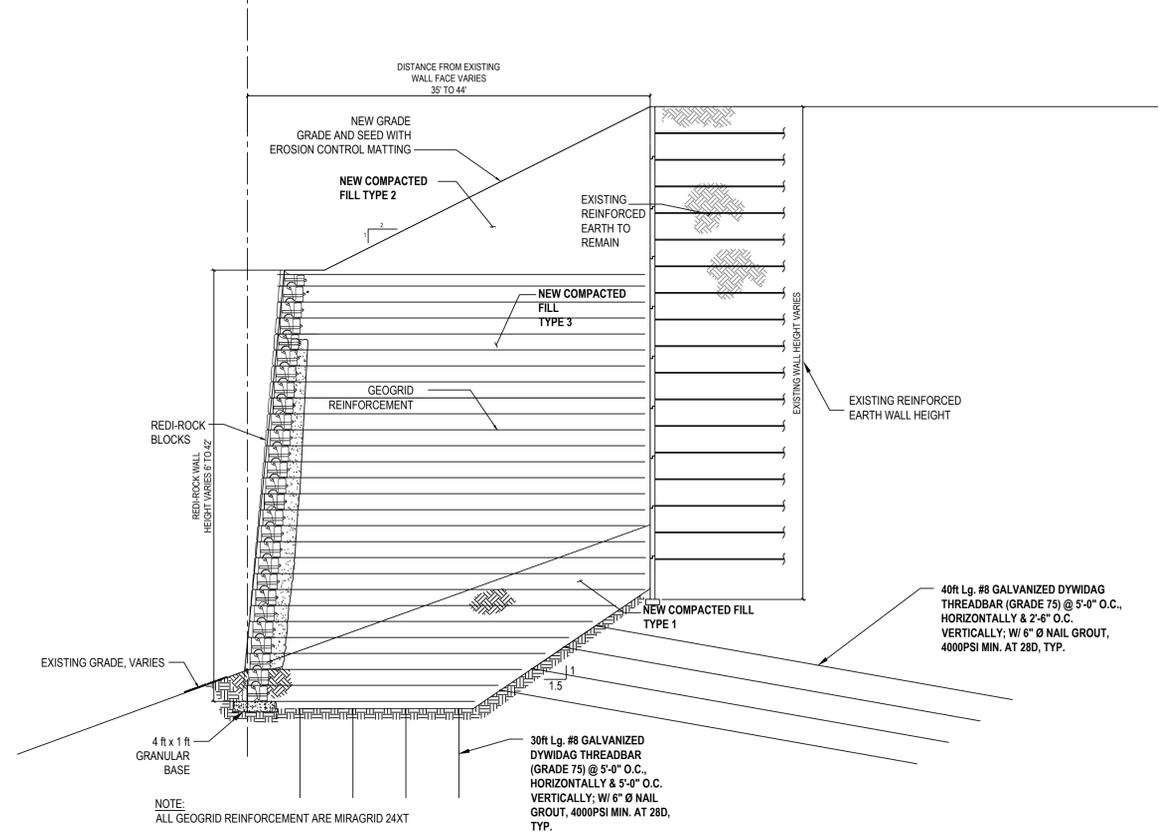
TYPICAL CROSS SECTIONS

SHEET #

C6.0



1 Cross Section With Exist. Wall Demo
SCALE: 1/8"=1'-0"



2 Cross Section With No Exist. Wall Demo
SCALE: 1/8"=1'-0"

BACKFILLING NOTES:

- TYPE C SAND: NATURAL RIVER OR BANK SAND, WASHED, FREE OF SILT, CLAY, LOAM, FRIABLE OR SOLUBLE MATERIALS, OR ORGANIC MATTER, GRADED IN ACCORDANCE WITH ANSI/ASTM C136 WITHIN THE FOLLOWING LIMITS:

SIEVE SIZE:	PERCENT PASSING
NO. 4	100
NO. 14	10-100
NO. 50	5-90
NO. 100	4-30
NO. 200	0-1
- TYPE 1 FILL: EXCAVATED EARTH FROM EXISTING WALL BACKFILL
MOIST UNIT WEIGHT = 134 pcf
FRICTION ANGLE = 32°
COHESION = 0 psf
- TYPE 2 FILL: PROPOSED 12" SHOT ROCK FILL WITH FINES - SURCHARGE MATERIAL
MOIST UNIT WEIGHT = 142 pcf
FRICTION ANGLE = 38°
COHESION = 0 psf
- TYPE 3 FILL: PROPOSED < 2" RECYCLED CONCRETE AGGREGATE (RCA) - REINFORCED MATERIAL
MOIST UNIT WEIGHT = 138 pcf
FRICTION ANGLE = 33°
COHESION = 0 psf
- VERIFY EXISTING CONDITIONS AND SUBSTRATE.
- VERIFY FILL MATERIALS TO BE REUSED ARE ACCEPTABLE.
- COMPACT SUBGRADE TO 95 PERCENT MAXIMUM DRY DENSITY IN ACCORDANCE WITH ANSI/ASTM D1557.
- CUT OUT SOFT AREAS OF SUBGRADE NOT CAPABLE OF IN-SITU COMPACTIONS. BACKFILL WITH TYPE D FILL AND COMPACT TO DENSITY EQUAL TO OR GREATER THAN REQUIREMENTS FOR SUBSEQUENT BACKFILL MATERIAL.
- BACKFILL AREAS TO CONTOURS AND ELEVATIONS WITH UNFROZEN MATERIALS.
- SYSTEMATICALLY BACKFILL TO ALLOW MAXIMUM TIME FOR NATURAL SETTLEMENT. DO NOT BACKFILL OVER POROUS, WET, FROZEN OR SPONGY MATERIALS.
- PLACE AND COMPACT MATERIALS IN CONTINUOUS LAYERS NOT EXCEEDING 6 INCHES COMPACTED DENSITY.
- ALL BACKFILL MATERIALS SHALL BE COMPACTED TO 95 PERCENT MAXIMUM DRY DENSITY IN ACCORDANCE WITH ANSI/ASTM D1557. MAINTAIN OPTIMUM MOISTURE CONTENT TO ATTAIN REQUIRED DENSITY.
- AT COMPLETIONS OF WALL CONSTRUCTIONS, BACKFILL SHALL BE PLACED LEVEL WITH FINAL TOP OF WALL ELEVATION. IF FINAL GRADING, PAVING, LANDSCAPING AND/OR STORM DRAINAGE INSTALLATION ADJACENT TO THE WALL IS NOT PLACED IMMEDIATELY AFTER WALL COMPLETION, TEMPORARY GRADING AND DRAINAGE SHALL BE PROVIDED TO ENSURE WATER RUNOFF IS NOT DIRECTED AT THE WALL OR ALLOWED TO COLLECT OR POND BEHIND THE WALL UNTIL FINAL CONSTRUCTION ADJACENT TO THE WALL IS COMPLETED.

EXCAVATION NOTES:

- PROTECT ABOVE AND BELOW GRADE UTILITIES WHICH ARE TO REMAIN.
- PROTECT PLANT LIFE, LAWNS AND OTHER FEATURES REMAINING AS A PORTION OF FINAL LANDSCAPING.
- PROTECT BENCH MARKS, EXISTING STRUCTURES, FENCES, SIDEWALKS, PAVING AND CURBS FROM EXCAVATION EQUIPMENT AND VEHICULAR TRAFFIC.
- GRADE TOP PERIMETER OF EXCAVATION TO PREVENT SURFACE WATER FROM DRAINING INTO EXCAVATION.
- HAND TRIM EXCAVATION. REMOVE LOOSE MATTER.
- REMOVE LUMPED SUB-SOIL, BOULDERS AND ROCK.
- NOTIFY ENGINEER OF UNEXPECTED SUBSURFACE CONDITIONS AND DISCONTINUE AFFECTED WORK AREA UNTIL NOTIFIED TO RESUME WORK.
- CORRECT UNAUTHORIZED EXCAVATION AT NO EXTRA COST TO OWNER IN ACCORDANCE WITH BACKFILLING NOTES.
- STOCKPILE EXCAVATED MATERIAL IN AREA DESIGNATED ON SITE AND REMOVE EXCESS MATERIAL NOT BEING REUSED FROM SITE.
- PROTECT EXCAVATIONS BY METHODS REQUIRED TO PREVENT CAVE-IN OR LOOSE SOIL FROM FALLING INTO EXCAVATION.
- CONTRACTOR SHALL VERIFY LOCATION OF EXISTING STRUCTURES AND UTILITIES PRIOR TO EXCAVATION. CONTRACTOR SHALL ENSURE ALL SURROUNDING STRUCTURES ARE PROTECTED FROM THE EFFECTS OF ALL EXCAVATION.

REDI-ROCK WALL NOTES:

- REDI-ROCK RETAINING WALL BLOCKS TO BE MACHINE-PLACED, WET CAST, PRECAST MODULAR BLOCK UNITS MANUFACTURED FROM FIRST-PURPOSE, NON-RECONSTITUTED CONCRETE AND INTENDED FOR USE IN CONSTRUCTION OF DRY-STACKED MODULAR RETAINING WALL SYSTEMS. THE BLOCK UNITS ARE TO BE MANUFACTURED FROM STRUCTURAL-GRADE CONCRETE MIXES IN ACCORDANCE WITH ASTM C94 OR ASTM C685 THAT PRODUCE A FINISHED UNIT WITH EXCELLENT RESISTANCE TO FREEZE-THAW, DEICING CHEMICAL EXPOSURE, AND SUBMERGED CONDITIONS IN BOTH FRESH WATER AND SALT WATER APPLICATIONS. PRODUCTS ARE TO BE MANUFACTURED AND DISTRIBUTED THROUGH A LICENSED PRECAST CONCRETE MANUFACTURER.
- GEOGRID - GEOGRID REINFORCEMENT TO BE STRIPS OF MIRAFI GEOGRID THAT HAVE BEEN FACTORY CUT AND ARE CERTIFIED FOR WIDTH AND STRENGTH BY TENCATE MIRAFI.

CONSULTANTS:

REV	DATE	DESCRIPTION
2	02/21/2018	AMENDED SITE PLAN APPLICATION
1	09/15/2017	RELEASED TO CONTRACTORS

PROJECT #:	CUWA 17-01	SEAL
DATE:	08/03/2017	
DESIGNED BY:	DGL	
DRAWN BY:	TM	
CHECKED BY:		
REVIEWED BY:		

CLIENT
CUSHMAN & WAKEFIELD, INC. A/A/F/ CSFB 2007-C4 LAKEVIEW PLAZA SHOPPING CENTER, LLC

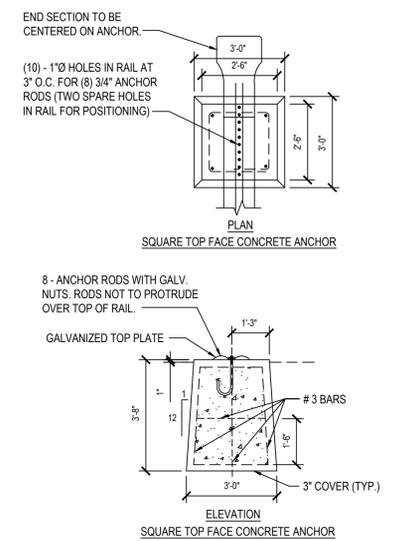
PUTNAM COUNTY
NEW YORK

CONTRACT
LAKEVIEW SHOPPING PLAZA RETAINING WALL REPLACEMENT

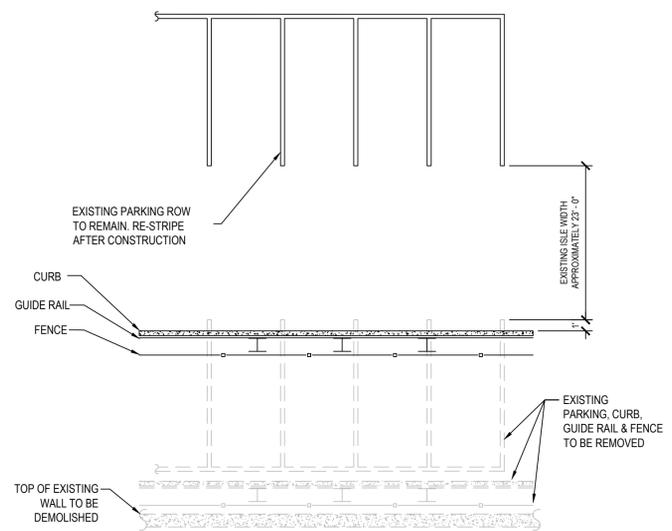
STATUS
PLANNING REVIEW NOT FOR CONSTRUCTION

SHEET TITLE
SITE DETAILS

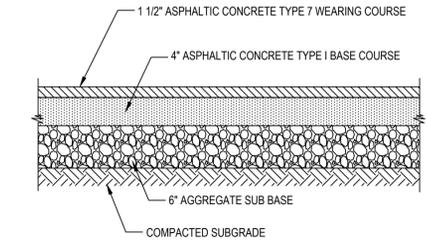
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C7.0



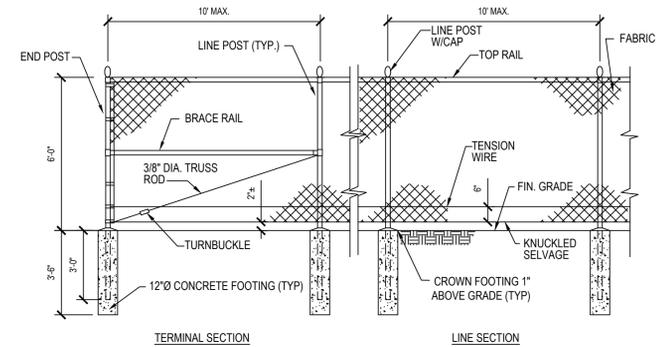
6 Weak Post Corrugated-Beam Guide Railing
NTS (BAY1203 H2M X2) - U



4 Guide Rail & Fence Site Plan
NTS

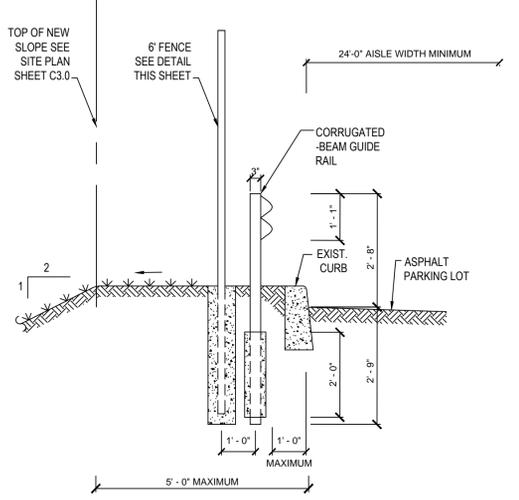


1 Asphalt Pavement - Commercial Parking Area
NTS

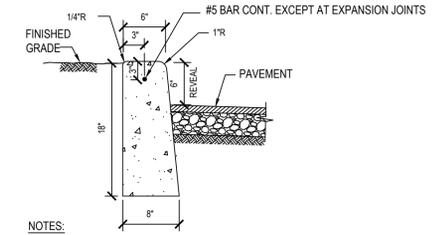


- NOTES:
- FABRIC: ASTM A392, 2" MESH, 6 GAUGE STEEL CHAIN LINK FENCE FABRIC, HOT DIPPED GALVANIZED AFTER WEAVING TO 1.2 OZ/SF.
 - TOP AND BRACE RAILS: ASTM F1043 1.66" O.D. (1.84 LBS./FT.) SS40 STEEL PIPE, HOT DIPPED GALVANIZED TO 1.8 OZ/SF IN ACCORDANCE WITH ASTM A123.
 - LINE POSTS: ASTM F1043 1.9" O.D. (2.28 LBS./FT.) SS40 STEEL PIPE, HOT DIPPED GALVANIZED TO 1.8 OZ/SF IN ACCORDANCE WITH ASTM A123.
 - END, CORNER & PULL POSTS: ASTM F1043 2.375" O.D. (3.12 LBS./FT.) SS40 STEEL PIPE, HOT DIPPED GALVANIZED TO 1.8 OZ/SF IN ACCORDANCE WITH ASTM A123.
 - FITTINGS AND ACCESSORIES: ASTM F626 MALLEABLE OR PRESSED STEEL, HOT DIPPED GALVANIZED TO 1.2 OZ/SF.
 - BOTTOM TENSION WIRE: ASTM A824 NO. 7 GAUGE STEEL-MARCELLED WIRE, HOT DIPPED GALVANIZED TO 1.2 OZ/SF.
 - STRETCHER BAR: 3/16" x 3/4" PRESSED STEEL, HOT DIPPED GALVANIZED TO 1.2 OZ/SF.
 - CONCRETE TO ACHIEVE 4000 PSI STRENGTH AT 28 DAYS.

11 Chain Link Fence - Galvanized - 6' Height
NTS (023113 13 H2M X2) - U

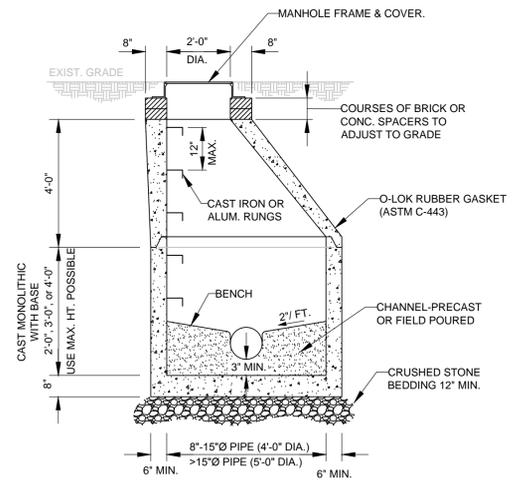


5 Guide Rail & Fence Elevation
NTS

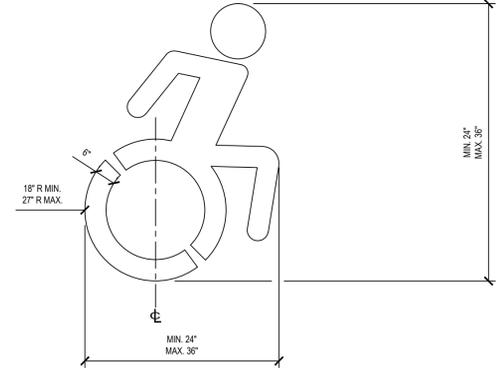


2 Concrete Curb
NTS (021613 16 H2M X1) - U

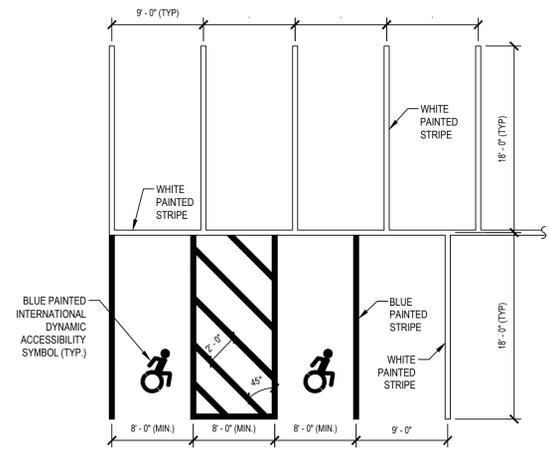
- NOTES:
- WOOD FLOAT AND BRUSH FINISH ON ALL SURFACES ABOVE GRADE.
 - AT ALL CURB ENDINGS, PROVIDE SMOOTH TRANSITION DOWN TO PAVED SURFACE.
 - PROVIDE 1/2" PREFORMED EXPANSION MATERIAL AT 20" ON CENTER AND AT ALL CORNERS. SET EXPANSION MATERIAL 1/2" BELOW EXPOSED SURFACES AND SEAL JOINT.
 - CONCRETE TO ACHIEVE 4000 PSI STRENGTH AT 28 DAYS.



12 Precast Concrete Manhole
NTS



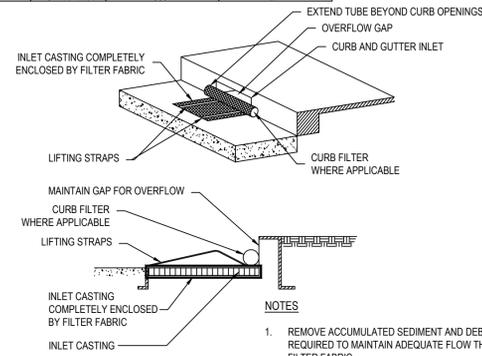
6 Dynamic Accessibility Symbol
NTS



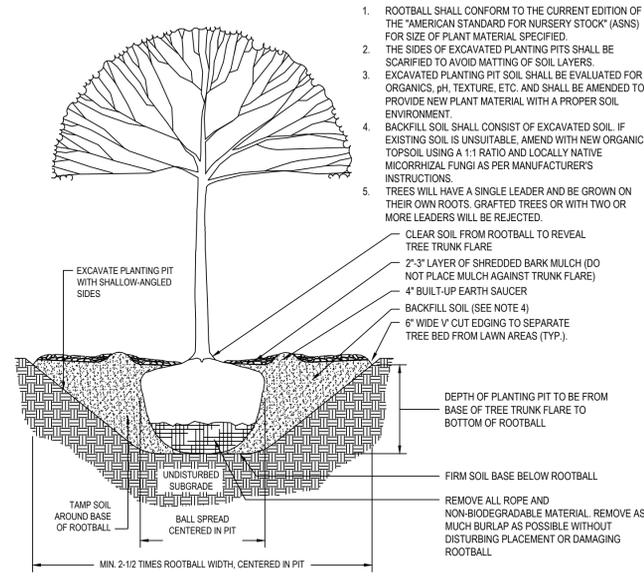
3 Parking Stall Layout - Single Striping
NTS (021799 00 H2M X1) - U (MOD)

- NOTES:
- ALL STRIPING TO BE 4" WIDE.
 - SEE DIMENSIONAL SITE PLAN FOR LOCATIONS OF PARKING STALL SIGNAGE.

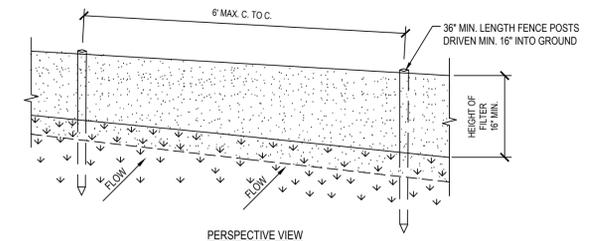
FILTER FABRIC PROPERTIES			
Mechanical Properties	Test Method	Units	MARV
Grab Tensile Strength	ASTM D 4832	lbs	365 x 200
Grab Tensile Elongation	ASTM D 4832	%	24 x 10
Puncture Strength	ASTM D 4833	lbs	90
Mullen Burst Strength	ASTM D 3786	psi	450
Trapezoid Tear Strength	ASTM D 4533	lbs	115 x 75
UV Resistance	ASTM D 4355	%	90
Apparent Opening Size	ASTM D 4751	US Std Sieve	40
Flow Rate	ASTM D 4491	gal/min/ft ²	145
Permeability	ASTM D 4491	Sec	2.1



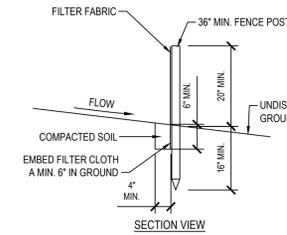
4 Inlet Sediment Bag Protection
NTS (312553.13 H2M X1) - U



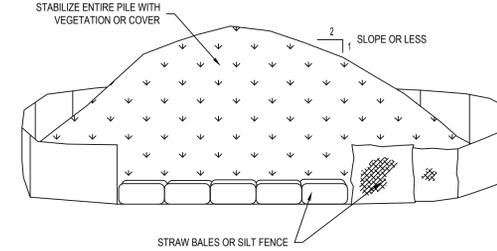
5 Deciduous Tree Planting
NTS (329343.00 H2M X1)



1 Silt Fence - Standard
NTS (312513.13 NYDC1) - U

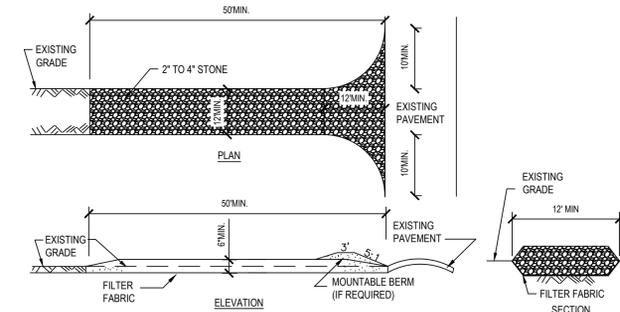


- NOTES:
1. AREA CHOSEN FOR STOCKPILING OPERATIONS SHALL BE DRY AND STABLE.
 2. MAXIMUM SLOPE OF STOCKPILE SHALL BE 2:1.
 3. UPON COMPLETION OF SOIL STOCKPILING, EACH PILE SHALL BE SURROUNDED WITH EITHER SILT FENCING OR STRAW BALES, THEN STABILIZED WITH VEGETATION OR COVERED.



TO BE USED WHERE TOPSOIL IS NECESSARY FOR REGRADING AND VEGETATING DISTURBED AREAS. TEMPORARY STOCKPILE STABILIZATION MEASURES INCLUDE VEGETATIVE COVER, MULCH, NONVEGETATIVE COVER, AND PERIPHERAL SEDIMENT TRAPPING BARRIERS. THE STABILIZATION MEASURE(S) SELECTED SHOULD BE APPROPRIATE FOR THE TIME OF YEAR, SITE CONDITIONS, AND REQUIRED PERIOD OF USE.

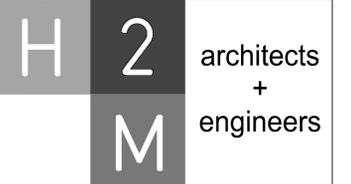
2 Temporary Soil Stockpile
NTS (312513.23 NYDC1) - U



CONSTRUCTION SPECIFICATIONS

1. STONE SIZE TO BE 2" TO 4".
2. LENGTH - NOT LESS THAN 50 FEET (UNLESS INDICATED OTHERWISE ON PLANS).
3. THICKNESS - NOT LESS THAN SIX (6) INCHES.
4. WIDTH - TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. PLACE FILTER FABRIC OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE. FILTER FABRIC TO BE TREVIRA SPUNBOND, 1135 MIRAFI 600X OR EQUIVALENT.
6. SURFACE WATER - ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED BENEATH THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.

3 Stabilized Construction Entrance
NTS (312513.19 NYDC1) - U



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New York, NY 10001
White Plains, NY 10604
Suffern, NY 10901
Parsippany, NJ 07054
Howell, NJ 07731

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CLIENT
CUSHMAN & WAKEFIELD, INC. A/A/F/ CSFB 2007-C4 LAKEVIEW PLAZA SHOPPING CENTER, LLC

PUTNAM COUNTY
NEW YORK

CONTRACT
LAKEVIEW SHOPPING PLAZA RETAINING WALL REPLACEMENT

STATUS
PLANNING REVIEW NOT FOR CONSTRUCTION

SHEET TITLE
EROSION & SEDIMENT CONTROL AND LANDSCAPING DETAILS

SHEET #
C7.1